



**ST. CLAIR CATHOLIC  
DISTRICT SCHOOL BOARD**  
*Lighting the Way ~ Rejoicing in Our Journey*

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***ADDENDUM # 001***

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**St. Clair Catholic District School Board**

**Holy Trinity Catholic School  
60 Lorne Crescent  
Sarnia, Ontario**

**Site and Parking Lot Improvement Work**

**Project No. 651-CP1607**

Prepared by:

**Randy Wilson Architect Inc.**  
280 Queens Ave, Suite 1Q  
London, Ontario  
N6B 1X3

May 2016

*This addendum forms part of the Contract Bid Documents and amends the original drawings and specifications issued for Bid on May 9<sup>th</sup>, 2016.*

**TABLE OF CONTENTS**

ADDENDUM # 1 (Including cover)	4 Page(s)
<u>Attachments forming part of this addendum</u>	
Revised Architectural Drawings	1 sheets
New Civil Drawings	2 sheets
<b>TOTAL PAGE COUNT FOR THIS ADDENDUM</b>	<b>7 Page(s)</b>

**PART A – GENERAL**

**1.1 SITE MEETING/REVIEW**

- a. The mandatory site review was held on May 12<sup>th</sup>, 2016..
  - i. Attached is the attendee list of the Mandatory Site Meeting. Please note that representatives from Contractors that were in attendance at this mandatory pre-bid walkthrough and have complied with the submission of the Bidders Registration Form are therefore the only Contractors able to submit bids for this project.
  - ii. The contractor is responsible for all construction damage incurred on site and to the school property.
  - iii. Special considerations noted included expectations regarding conduct on site. As the construction site will be on a school property, the following points were made:
    1. All people working on site must have a particular awareness of the safety and protection of children and school staff. Workers must work safely.
    2. The work site must be kept safe and secure by ensuring all safety precautions are taken and the worksite be kept tidy.
    3. The work site has a no smoking policy, a zero tolerance harassment policy and language is to be monitored at all times.
  - iv. As noted in the bid documents, the contractor is to work with the Board to establish a schedule of work that complies with the schedule milestones stated in the Bid Documents.
  - v. Any sub-trades may bid to the prescribed General Contractors.
  - vi. General expectations were discussed about the extent of work as follows:
    1. The review included the distribution of Civil drawings as indicated in the bid Notice of Project.
    2. The review provided a general commentary about the complete removal of an existing portion of asphalt, curbing, existing garbage enclosures and removal of lighting bases while maintaining light poles and fixtures for reuse.
    3. Lowering the demolished parking area to match finished elevations as stated on Civil drawings, providing granular material and milling existing asphalt to match all asphalt surfaces.
    4. Remove all goal posts for later reuse in areas affected by the work.

5. Provide excavation of materials while saving existing trees along eastern area of work. Prepare area for the placement of engineered fibre mulch. Mulch supply and install is carried in cash allowance work.
  6. Provide all fencing demolition, temporary fencing and permanent fencing as delineated on the drawings.
  7. Provide all new surfaces, parking area, sidewalks and restorations as delineated on the drawings.
  8. Provide new lighting bases and new conduit for revised power feeds as indicated on the architectural A010 drawing. Provide licensed electrician to identify live power feeds to parking light back to the main panel. Provide lock out of circuits for safe rework of the parking lot lighting. Provide new electrical tie in of new parking lot lighting through underground conduit. Provide TSA inspection of all electrical work prior to re-energizing circuit to parking lot lighting.
  9. There was a review of the new requirements for garbage and recycling on the east side of the school.
  10. The east property line requirements were reviewed along with areas of asphalt and subbase removal and restoration to grass.
- vii. It was noted that the documents call for one year maintenance of landscaping. The intent of the documents is to ensure that all grass areas are well established prior to turn over to the board.

**Holy Trinity Site and Parking Lot Improvement Tender Bid Mandatory Site Visit List**

<b>Company</b>	<b>Contractor Name</b>	<b>Email Address</b>	<b>Phone Number</b>
Sevcon Paving	Ric Dauw	ric.sevconpaving@cogeco.net	519-490-5007
B.H.G.C.	Bill Hoekstra	info@bh-gc.com	519-344-4855
C + C Construction	Daniel Clacys	estimator@cconstr-eng.com	519-336-3430
Cope Construction	Jeff DeRush	jderush@cope.on.ca	519-268-8231
First General	Jeff Medeiros	jeffmedeiros@firstgeneral.com	519-332-2300

**1.2 TENDER QUESTION(S)**

- a. Question: There are two light base drawings, one on the A010 and another on C-1, which one has precedence?  
Answer: The one indicated on C1 is the correct light base detail.

**End of Minutes**

**PART B – SPECIFICATIONS**

Not Applicable

**PART C – ARCHITECTURAL DRAWINGS**

**A-010 – COVER SHEET, KEY PLAN**

Revisions for Addendum #1 clouded and noted.

**PART D – STRUCTURAL DRAWINGS**

RESERVED

**PART E – MECHANICAL / ELECTRICAL DRAWINGS**

RESERVED

**PART F – CIVIL ENGINEERING DRAWINGS**

C1 – Notes, Legend, Details and Plan – Issued with this Addendum

C2 – Partial Site Engineering Plans – Issued with this Addendum

**Architectural Sketches Included**

N/A

**END OF ADDENDUM # 001**

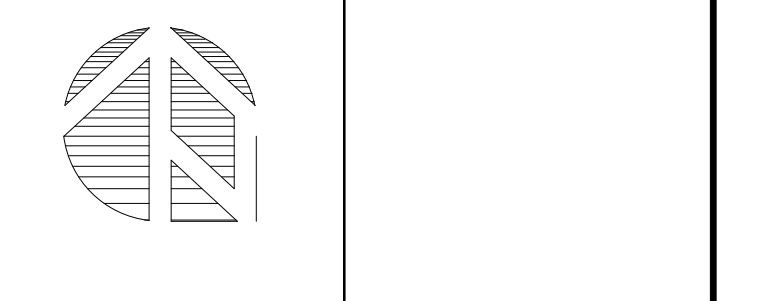
**KEY PLAN**

**NOTES**

**LEGEND**

- 1. PROVIDE SOD ON PREPARED TOP SOIL. BLEND WITH EXISTING GRADE.
- 2. REMOVE EXISTING ASPHALT AND BASE. PROVIDE GRASS SEED ON PREPARED SOIL.
- 3. AREA OF RESEEDING CASH ALLOWANCE.
- 4. EXISTING GOAL POST TO BE REMOVED AND RELOCATED AFTER COMPLETION OF WORK.
- 5. RELOCATED GOAL POST.
- 6. STRIP AND REMOVE ALL VEGETATION AND TOP SOIL TO 180mm BELOW FINISHED GRADE. COMPACT AND SMOOTH NATIVE SOIL. ALL EXISTING TREES TO REMAIN.

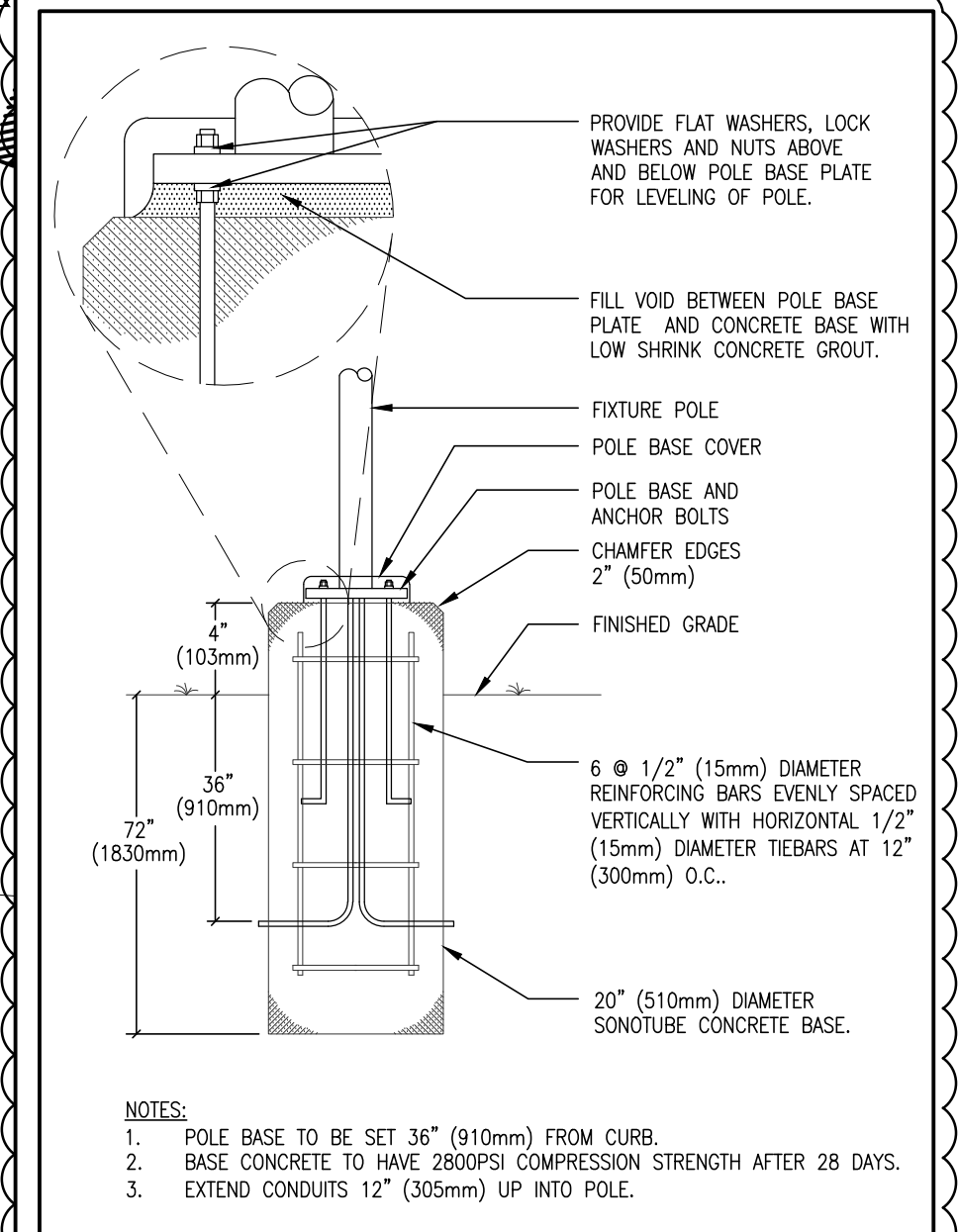
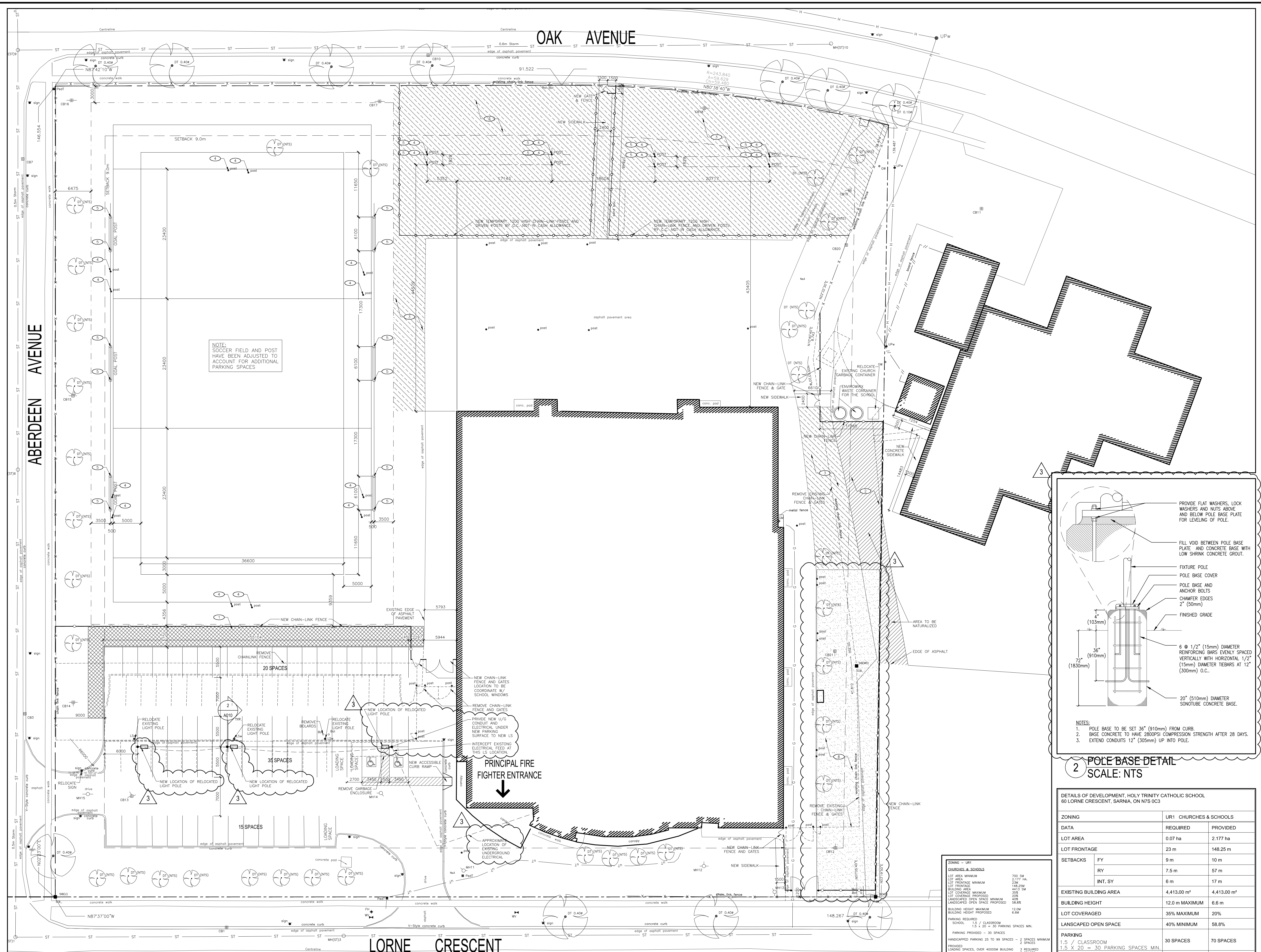
DATE	DESCRIPTION	No.
05/12/2016	ISSUED FOR ADDENDUM 001	3
05/09/2016	ISSUED FOR TENDER	2
05/06/2016	ISSUED FOR CLIENT REVIEW	1



PROJECT TITLE:  
**HOLY TRINITY  
 CATHOLIC SCHOOL  
 SCCDSB**

**SITE PLAN**

DATE PLOTTED: 5/12/2016	DRAWN: SD	DRAWING No. A010
SCALE: AS NOTED	CHECKED: RW	
PROJECT No. 1601		



**DETAILS OF DEVELOPMENT, HOLY TRINITY CATHOLIC SCHOOL  
 60 LORNE CRESCENT, SARNIA, ON N7S 0C3**

ZONING	UR1 CHURCHES & SCHOOLS
DATA	REQUIRED PROVIDED
LOT AREA	0.07 ha 2.177 ha
LOT FRONTAGE	23 m 148.25 m
SETBACKS	
FY	9 m 10 m
FY	7.5 m 57 m
INT. SY	6 m 17 m
EXISTING BUILDING AREA	4,413.00 m <sup>2</sup> 4,413.00 m <sup>2</sup>
BUILDING HEIGHT	12.0 m MAXIMUM 6.6 m
LOT COVERAGED	35% MAXIMUM 20%
LANSCAPED OPEN SPACE	40% MINIMUM 58.8%
PARKING	
1.5 / CLASSROOM	30 SPACES 70 SPACES
1.5 X 20 = 30 PARKING SPACES MIN.	
BARRIER FREE PARKING (25-99 SPACES)	2 SPACES 2 SPACES
LOADING AREA (OVER 4000 M <sup>2</sup> BUILDING)	3 SPACES 3 SPACES

**ZONING - UR1 CHURCHES & SCHOOLS**

LOT AREA MINIMUM	700 SQM
LOT AREA MAXIMUM	2,177 HA
LOT FRONTAGE MINIMUM	23M
LOT FRONTAGE MAXIMUM	148.25M
LOT FRONTAGE	441.50M
MAXIMUM BLDG AREA	645 SQM
LOT COVERAGED PROPOSED	35%
LOT COVERAGED MAXIMUM	35%
LANDSCAPED OPEN SPACE MINIMUM	40%
LANDSCAPED OPEN SPACE PROPOSED	58.8%
BUILDING HEIGHT MAXIMUM	12.0M
BUILDING HEIGHT PROPOSED	6.6M
PARKING REQUIRED	
SCHOOLS - 1.5 / CLASSROOM	30
MINIMUM PROVIDING - 30 SPACES	
HANDICAPPED PROVIDING - 25 TO 99 SPACES	2 SPACES MINIMUM
PROVIDED	2 SPACES
LOADING SPACES, OVER 4000SQM BUILDING	3 REQUIRED
PROVIDED	3 SPACES
FRONT YARD SETBACK	9M
REAR YARD DEPTH	7.5M
SIDE YARD WIDTH	6M

**1 SITE PLAN  
 SCALE 1:300**

**GENERAL NOTES:**

1. THE OWNER'S PROFESSIONAL ENGINEER IS REQUIRED TO INSPECT THE INSTALLATION OF SERVICES AND FINAL GRADING INCLUDED IN THIS PROJECT IN ACCORDANCE WITH THE GENERAL REVIEW COMMITMENT CERTIFICATION PROCESS. THE CONTRACTOR IS TO PROVIDE AT LEAST 48 HOURS PRIOR TO ANY REQUIRED INSPECTION.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY.
3. SBM LTD. IS NOT RESPONSIBLE FOR THE INFORMATION (EXISTING TOPOGRAPHY, BENCHMARKS, PROPERTY BOUNDARY, ETC.) PROVIDED BY OTHERS.

**CONSTRUCTION NOTES:**

1. REFER TO THE SITE PLAN FOR LAYOUT, DIMENSIONING, AND SIGN/POST/FENCE DETAILS.
2. THE CONTRACTOR IS TO CONTACT THE CONSULTING ENGINEER FOR FINAL INSPECTION.
3. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES UNDER THE OCCUPATIONAL HEALTH AND SAFETY ACT AS REQUIRED BY THE MINISTRY OF LABOUR.
4. THE CONTRACTOR IS TO REVIEW AND CONFIRM ALL EXISTING CONDITION INFORMATION & INFORM SBM ENGINEERING LTD. OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. SBM ENGINEERING LTD. IN NO WAY ACCEPTS RESPONSIBILITY FOR ANY INACCURACIES FOUND ON THIS PLAN RELATIVE TO EXISTING CONDITIONS FOR THE SITE.
5. PRIOR TO COMMENCING ANY CONSTRUCTION, ALL SEWER OUTLET INFORMATION, BENCHMARKS, ELEVATIONS, DIMENSIONS, GRADES, ETC. MUST BE CHECKED BY THE CONTRACTOR AND VERIFIED AND ANY DISCREPANCIES REPORTED TO THE CONSULTING ENGINEER.
6. PRIOR TO COMMENCING ANY WORK ON THE INSTALLATION OF SERVICES & GRADING, AN APPROVED SET OF PLANS AND SPECIFICATIONS MUST BE AVAILABLE ON THE JOB AND SHALL REMAIN THERE WHILE WORK IS BEING DONE.
7. STRIP FULL DEPTH OF TOPSOIL IN AREAS TO BE DISTURBED AND STOCK PILE FOR RE-USE IN GRASSED/LANDSCAPED AREAS.
8. CONTRACTOR IS RESPONSIBLE FOR ALL AS-BUILT INVERTS AND GRADES. RECORD ANY DEVIATION OF PIPE OR STRUCTURE LOCATION INVOLVED WITH THIS PROJECT AND CONTRACTOR TO PROVIDE A COPY OF THE AS-BUILT DRAWING SHOWING ALL CHANGES CLEARLY MARKED IN RED.
9. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY MEASURES TO CONTROL SILT ENTERING THE STORM DRAINAGE SYSTEM TO THE SPECIFICATIONS OUTLINED IN THE GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES PROVIDED BY THE MINISTRY OF NATURAL RESOURCES. THESE MEASURES ARE TO BE INSTALLED PRIOR TO COMMENCING ANY CONSTRUCTION FOR THIS PROJECT AND ARE TO REMAIN IN PLACE UNTIL CONSTRUCTION HAS BEEN COMPLETED TO BASE ASPHALT AND SOD OR THE SATISFACTION OF THE MUNICIPALITY'S ENGINEER.
10. THE CONTRACTOR IS RESPONSIBLE FOR:
  - 10.1. CONNECTING ANY EXISTING SEWER OR DRAIN ENCOUNTERED DURING CONSTRUCTION TO A NEW SEWER OF SIMILAR TYPE, SIZE AND MATERIAL OR INTO ANOTHER EXISTING SEWER OF THE SAME TYPE.
  - 10.2. ENSURING THAT THERE IS NO INTERRUPTION OF ANY SURFACE OR SUBSURFACE DRAINAGE FLOW THAT WOULD ADVERSELY AFFECT NEIGHBOURING PROPERTIES.
11. NO FOUNDATION DRAIN CONNECTIONS WILL BE PERMITTED INTO THE SANITARY SEWERS AND NO DIRECT GRAVITY CONNECTIONS FROM THE FOUNDATION DRAINS WILL BE PERMITTED TO THE STORM SYSTEM UNLESS THE STORM SYSTEM HAS THE CAPACITY TO PROVIDE FOR SUCH CONNECTIONS TO THE SATISFACTION OF THE MUNICIPALITY'S ENGINEER.
12. WORK ON OR ADJACENT TO THE MUNICIPAL R.O.W. SHALL BE COMPLETED IN ACCORDANCE WITH THE ONTARIO TRAFFIC MANUAL BOOK 7 LATEST EDITION.

**UTILITIES NOTES:**

1. THE UTILITIES PROVIDERS MUST BE INFORMED AT LEAST TWO WEEKS PRIOR TO CONSTRUCTION ON ANY EXISTING MUNICIPAL ROAD ALLOWANCE. ALL EXISTING UNDERGROUND SERVICE OR UTILITIES WITHIN THE LIMITS OF THE CONSTRUCTION SITE SHALL BE LOCATED AND MARKED. ANY UTILITIES, DAMAGED OR DISTURBED DURING CONSTRUCTION, SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE GOVERNING BODY AT THE CONTRACTOR'S EXPENSE.
2. ALL EXISTING UNDERGROUND UTILITY (TELEPHONE, HYDRO, GAS, CABLE, SEWER, WATERMANS, ETC.) THAT WILL BE CROSSED UNDER DURING THE INSTALLATION OF SERVICES FOR THIS DEVELOPMENT SHALL BE SUPPORTED, AS MAY BE REQUIRED BY THE OWNERS OF THE UTILITY BEING CROSSED UNDER.
3. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
4. CONTRACTOR TO COORDINATE WITH UTILITIES PROVIDER FOR BRACING, DECOMMISSIONING AND/OR RELOCATION OF EXISTING GAS, HYDRO, TELEPHONE, CABLE, ETC. SERVICES, IF REQUIRED.

**RESTORATION NOTES:**

1. ALL SURFACES WHICH ARE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO A CONDITION AT LEAST AS GOOD AS ORIGINAL, OR AS PER BELOW (WHICHEVER IS GREATER) OR IF WITHIN THE MUNICIPAL RIGHT-OF-WAY TO THE SATISFACTION OF THE MUNICIPAL ENGINEER, ALL AT NO COST TO THE MUNICIPALITY;
  - 1.1. GRASSED AREAS TO BE RESTORED w/ 100mm TOPSOIL + SOD
  - 1.2. CONCRETE SIDEWALK TO OPD 310.010 'CONCRETE SIDEWALK'
  - 1.3. CONCRETE CURB AND GUTTER TO OPD 600.110 'CONCRETE BARRIER CURB'
  - 1.4. ASPHALT AREA SHALL BE RESTORED AS FOLLOWS:
    - 1.4.1. PROOF ROLL SUBGRADE (TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER) PRIOR TO PLACEMENT OF GRANULARS (98% SPMD MIN.).
    - 1.4.2. MILL ADJACENT ASPHALT TO BE TIED INTO 50mm DEEP x 500mm WIDE PRIOR TO RESTORATION SEE DETAIL ON SHEET C1.
    - 1.4.3. MIN. RECOMMENDED ON-SITE LIGHT-DUTY PAVEMENT STRUCTURE (TO BE REVIEWED & APPROVED BY THE GEOTECHNICAL ENGINEER)
      - 40mm HLB SURFACE ASPHALT COMPACTED TO 97% MARSHALL MIX DESIGN BULK DENSITY
      - 50mm HLB BINDER ASPHALT COMPACTED TO 97% MARSHALL MIX DESIGN BULK DENSITY
      - ASPHALT TO BE SUPPLIED AND PLACED IN ACCORDANCE WITH OPSS 310 & 1150
      - 150mm OF GRANULAR 'A' COMPACTED TO 100% SPMD
      - 300mm OF GRANULAR 'B' COMPACTED TO 100% SPMD
- 1.5. RESTORE ALL PAVEMENT MARKINGS TO MATCH EXISTING PRE-CONSTRUCTION CONDITIONS AND MARKINGS SHALL BE COMPLETED IN ACCORDANCE WITH OPSS 710 'CONSTRUCTION SPECIFICATION FOR PAVEMENT MARKING'.
- 1.6. ALL EXTERIOR HORIZONTAL CONCRETE SHALL BE 32 MPa @ 28 DAYS @ w 5-BX AIR ENTRAINMENT.
2. ALL AREAS OUTSIDE THE CONSTRUCTION LIMITS SHALL NOT BE DISTURBED. ANY DAMAGED TO THOSE AREAS ARE TO BE REPAIRED AT THE CONTRACTORS EXPENSE TO THE EXISTING CONDITIONS, OR ABOVE NOTED SPECIFICATIONS, WHICHEVER IS GREATER.

**SEDIMENT & EROSION CONTROL MEASURES:**

1. PROTECT ALL EXPOSED SURFACES AND CONTROL ALL RUNOFF DURING CONSTRUCTION.
2. SEDIMENT AND EROSION CONTROL MEASURES TO BE REMOVED AT COMPLETION OF PROJECT (FOLLOWING COMPLETION OF BASE ASPHALT AND SOD).
3. MAINTAIN EROSION CONTROL MEASURES DURING CONSTRUCTION.
4. ALL COLLECTED SEDIMENT TO BE DISPOSED OF AT AN APPROVED LOCATION.
5. MINIMIZE AREA DISTURBED DURING CONSTRUCTION.
6. ALL DEWATERING TO BE DISPOSED OF IN AN APPROVED SEDIMENTATION BASIN.
7. PROTECT ALL CATCH BASINS, MANHOLES AND PIPE ENDS FROM SEDIMENT INTRUSION WITH GEOTEXTILE FABRIC (TERRAFIX 270 R), SILT SACKS, OR APPROVED EQUAL.
8. KEEP ALL SUMPS CLEAN DURING CONSTRUCTION.
9. PREVENT WIND-BLOWN DUST.
10. STRAW BALES TO BE USED IN LOCALIZED AREAS AS DIRECTED BY THE ENGINEER DURING CONSTRUCTION FOR WORKS WHICH ARE IN OR ADJACENT TO FLOOD LINES, FILL LINES AND HAZARDOUS SLOPES.
11. STRAW BALES TO BE TERMINATED BY ROUNDING BALES TO CONTAIN AND FILTER RUNOFF.
12. OBTAIN APPROVAL FROM THE SAINT CLAIR REGION CONSERVATION AUTHORITY (SCRA) PRIOR TO CONSTRUCTION FOR WORKS WHICH ARE IN, OR ADJACENT TO FLOOD LINES, FILL LINES AND HAZARDOUS SLOPES.
13. ALL SILT FENCING AND DETAILS ARE AT THE MINIMUM TO BE CONSTRUCTED IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.
14. ALL OF THE ABOVE NOTES AND ANY SEDIMENT & EROSION CONTROL MEASURES ARE AT THE MINIMUM TO BE IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.

**LEGEND:**

271.00	EXISTING SPOT ELEVATION	⊙	EXISTING WATER METER
271.00	EXISTING SPOT ELEVATION (TO REMAIN)	⊙	PROPOSED WATER METER
271.00	PROPOSED SPOT ELEVATION	⊙	PROPOSED CURB STOP
271.00	PROPOSED SWALE ELEVATION	⊙	PROPOSED RAMP
□	EXISTING CATCHBASIN	⊙	PROPOSED SUMP PUMP
□	PROPOSED CATCHBASIN	⊙	PROPOSED ROOF WATER LEADER
○	EXISTING MANHOLE	TC	TOP OF CURB
○	PROPOSED MANHOLE	BC	BOTTOM OF CURB
2.0%	PROPOSED SLOPE	B/F	BARRIER FREE
2.0%	PROPOSED SLOPE	▲	BUILDING ENTRANCE
→	PROPOSED DRAINAGE DIRECTION	▲	OVERHEAD DOOR
←	EXISTING OVERLAND FLOW ROUTE	▬	PROPOSED ASPHALT
←	PROPOSED OVERLAND FLOW ROUTE	▬	PROPOSED CONCRETE
←	PROPOSED FIRE ROUTE SIGN	▬	PROPOSED NATURALIZED AREA
20.0-300.0 ST @ 1.0%	EXISTING STORM SEWER	▬	EXISTING BUILDING
20.0-300.0 ST @ 1.0%	EXISTING STORM SEWER	▬	PROPOSED BUILDING
20.0-150.0 SA @ 1.0%	EXISTING SANITARY SEWER	▬	PROPOSED SILT FENCE
20.0-150.0 SA @ 1.0%	EXISTING SANITARY SEWER	▬	PROPOSED TREE PRESERVATION FENCE
150 PVC WSC	EXISTING WATERMAIN	⊙	DECIDUOUS/CONIFEROUS TREE
150 PVC WSC	PROPOSED WATERMAIN	⊙	DECIDUOUS/CONIFEROUS TREE TO BE REMOVED
⊙	EXISTING FIRE HYDRANT	⊙	
⊙	PROPOSED FIRE HYDRANT	⊙	
⊙	EXISTING WATER VALVE	⊙	
⊙	PROPOSED WATER VALVE	⊙	

**LEGAL INFORMATION**

PART OF  
BLOCK 'L'  
REGISTERED PLAN No. 314 (SA)  
IN THE  
CITY OF SARNIA  
COUNTY OF LAMBTON

**TEMPORARY SITE BENCHMARK:**

MONUMENT TYPE: FINISHED FLOOR ELEVATION

LOCATION: THE FINISHED FLOOR ELEVATION OF THE EXISTING HOLY TRINITY CATHOLIC SCHOOL.

\*ELEVATION: 184.150m

\*ELEVATIONS SHOWN ARE SITE SPECIFIC AND MAY NOT NECESSARILY BE GEODETIC.

**REFERENCE DOCUMENTS:**

1. LEGAL INFORMATION OBTAINED FROM PLAN BY MONTHHEITH & SUTHERLAND LIMITED, FILE No. SAR-4427, DATED JUNE 29, 2012.
2. EXISTING AREA TOPOGRAPHICAL INFORMATION OBTAINED FROM SURVEY COMPLETED BY STRIK, BALDINELLI, MONIZ LTD. ON MAY 5, 2016, FILE No. SBM-16-0722
3. PROPOSED SITE PLAN INFORMATION OBTAINED FROM PLANS PROVIDED BY RANDY WILSON ARCHITECT INCORPORATED, FILE No. 1601, DATED, 04/14/2016.

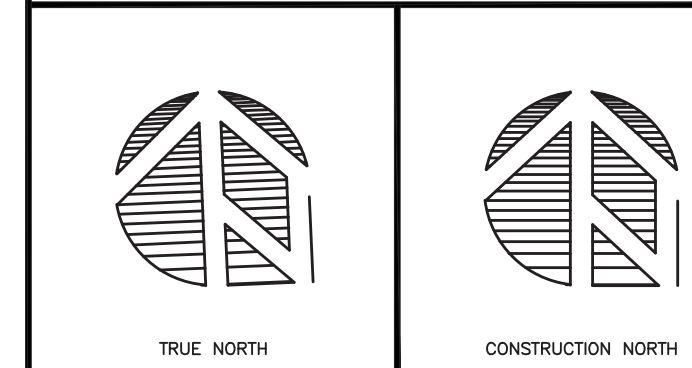
**LIST OF COMMON STANDARD DETAILS:**

OPSD 219.110	LIGHT-DUTY SILT FENCE BARRIER
OPSD 310.010	CONCRETE SIDEWALK
OPSD 400.020	CAST IRON, SQUARE FRAME WITH SQUARE FLAT GRATE FOR CATCH BASINS, HERRING BONE OPENINGS
OPSD 600.110	CONCRETE BARRIER CURB
OPSD 608.010	METHOD OF TERMINATION FOR CONCRETE CURB WITH GUTTER
OPSD 703.021	PRECAST CONCRETE TWIN INLET FLAT CAP, 1500 mm DIAMETER
OPSD 2200.011	RAISED CONCRETE FOOTING FOR BASE MOUNTED LIGHTING POLES
OPSD 2215.030	POLE MOUNTING DETAILS FOR BASE MOUNTED METAL POLE

**STRIK BALDINELLI MONIZ**  
CIVIL STRUCTURAL ENGINEERS  
14361 Medway Rd., PO Box #29, Arva, Ontario  
Tel: (519) 471-6667 Fax: (519) 471-0034  
Email: sbm@sbmltd.ca



**KEY PLAN**



**NOTES**

NOTES

**LIST OF DRAWINGS**

SHEET C1	NOTES, LEGEND & DETAILS
SHEET C2	PARTIAL SITE ENGINEERING PLANS

**CONCRETE SIDEWALK**  
OPSD - 310.010

**CONCRETE BARRIER CURB**  
OPSD 600.110

**METHOD OF TERMINATION FOR CONCRETE CURB WITH GUTTER**  
OPSD 608.010

**RAISED CONCRETE FOOTING FOR BASE MOUNTED LIGHTING POLES**  
OPSD 2200.011

POLE LENGTH	BURIAL DEPTH	ROD LENGTH	A	NO. OF 10M TIES @ 450	BOLT CIRCLE	DIA FOR METAL POLES
m	m	m	mm	c/c	Aluminum	Steel
5.6	2.15	3.00	100	3	N/A	N/A
7.0	2.15	3.00	100	3	N/A	N/A
7.5	2.15	3.00	100	3	406	406
8.7	2.45	3.30	250	3	N/A	N/A
9.0	2.45	3.30	0	4	406	406
10.5	2.60	3.45	100	4	406	406
12.0	2.75	3.60	150	4	406	406
13.6	2.90	3.75	0	5	406	406
15.1	3.05	3.90	100	5	406	406

N/A - Not applicable

05/12/2016	ISSUED FOR ADDENDUM No. 1	1
DATE	DESCRIPTION	No.
MM/DD/YYYY		

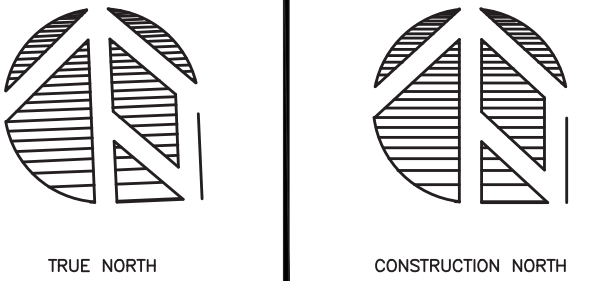
PROJECT TITLE:  
**HOLY TRINITY ELM. SCHOOL PROP. PARKING LOT ADDITION  
60 LORNE CRES  
SARNIA, ON.**

DRAWING TITLE:  
**NOTES, LEGEND & DETAILS  
PLANS**

DATE PLOTTED: 05/12/2016 9:43 AM	DRAWN: KEK	DRAWING No.:
SCALE: ---	CHECKED: KAM	<b>C1</b>
PROJECT No.:	SBM-16-0722	



KEY PLAN



NOTES

LIST OF DRAWINGS

SHEET C1	NOTES, LEGEND & DETAILS
SHEET C2	PARTIAL SITE ENGINEERING PLANS

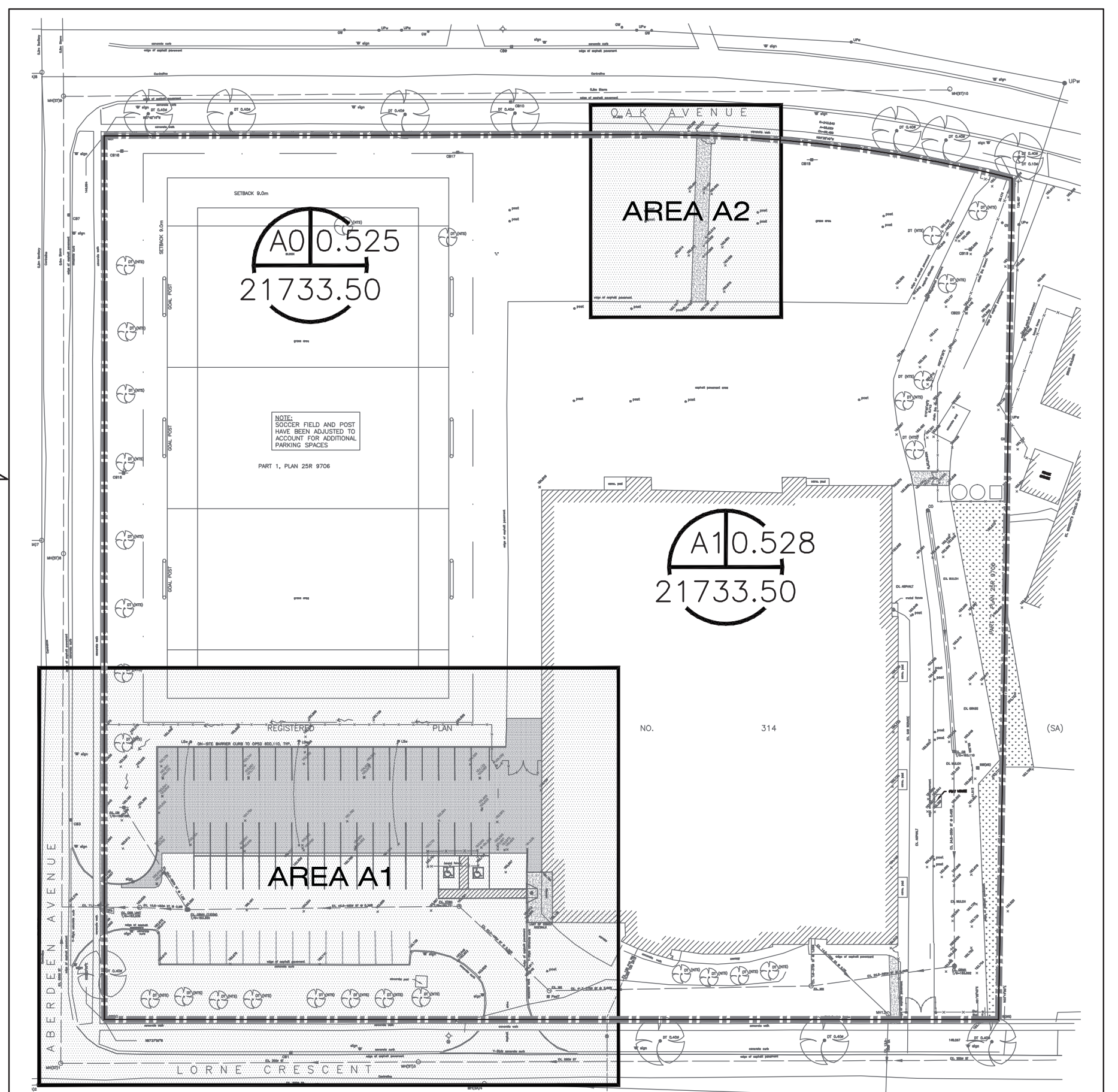
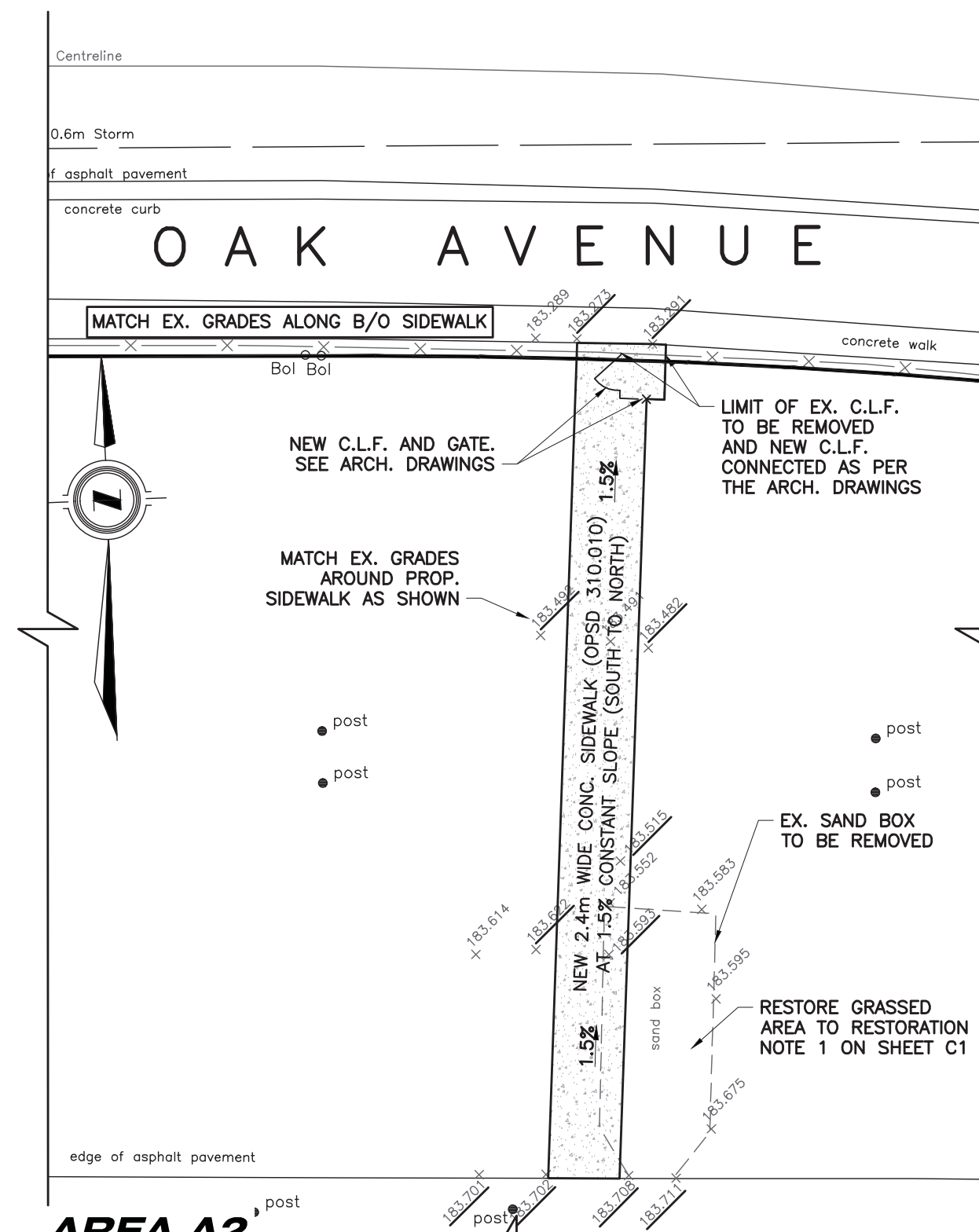
05/12/2016	ISSUED FOR ADDENDUM No. 1	1
DATE	DESCRIPTION	No.



PROJECT TITLE:  
**HOLY TRINITY ELM. SCHOOL  
 PROP. PARKING LOT ADDITION  
 60 LORNE CRESCENT  
 SARNIA, ON.**

DRAWING TITLE:  
**PARTIAL SITE ENGINEERING  
 PLANS**

DATE PLOTTED: 05/12/2016 9:43 AM	DRAWN: KEK	DRAWING No.:
SCALE: 1:200	CHECKED: KAM	<b>C2</b>
PROJECT No.:	SBM-16-0722	



**STORMWATER MANAGEMENT CATCHMENT AREA MAP  
 & KEY MAP OF WORK MAP**  
 SCALE: 1:500

**STORMWATER MANAGEMENT NOTES:**

**PRE-DEVELOPMENT CATCHMENT AREA A0**  
 TOTAL AREA OF SITE = 21733.50 m<sup>2</sup>  
 TOTAL AREA OF BUILDINGS = 4407.732 m<sup>2</sup> x 0.90 = 3966.96 m<sup>2</sup>  
 TOTAL AREA OF ASPHALT/CONCRETE = 5669.000 m<sup>2</sup> x 0.90 = 5102.10 m<sup>2</sup>  
 TOTAL AREA OF LANDSCAPING = 11656.773 m<sup>2</sup> x 0.35 = 4079.87 m<sup>2</sup>  
 13148.93

PRE-DEVELOPMENT 'C' VALUE = 13148.93/21733.50 = 0.61

**POST-DEVELOPMENT CATCHMENT AREA A1**  
 TOTAL AREA OF SITE = 21733.50 m<sup>2</sup>  
 TOTAL AREA OF BUILDINGS = 4407.732 m<sup>2</sup> x 0.90 = 3966.96 m<sup>2</sup>  
 TOTAL AREA OF ASPHALT/CONCRETE = 5764.559 m<sup>2</sup> x 0.90 = 5188.10 m<sup>2</sup>  
 TOTAL AREA OF LANDSCAPING = 11561.214 m<sup>2</sup> x 0.35 = 4046.43 m<sup>2</sup>  
 13201.49

POST-DEVELOPMENT 'C' VALUE = 13201.49/21733.50 = 0.61

SINCE THE POST-DEVELOPMENT 'C' VALUE IS LESS THAN THE PRE-DEVELOPMENT 'C' VALUE, NO ADDITIONAL FORMAL STORMWATER MANAGEMENT MEASURES HAVE BEEN IMPLEMENTED.

**GRADING CERTIFICATE:**

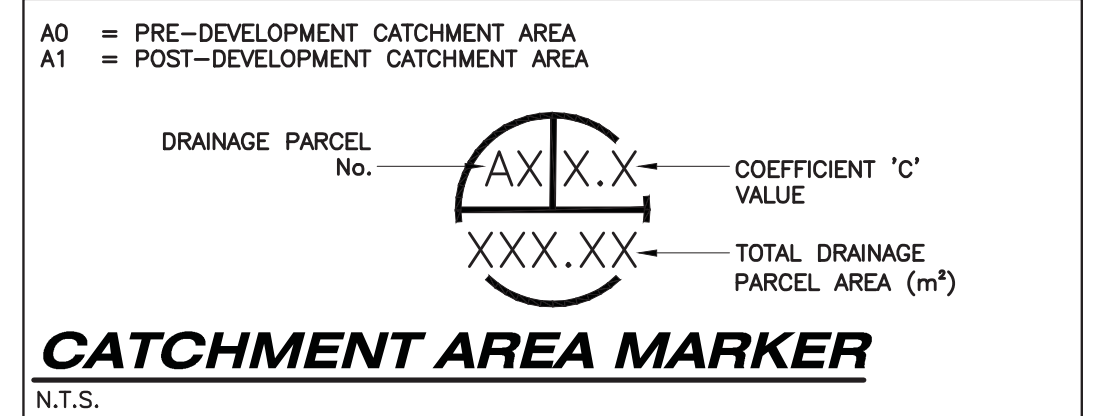
I HEREBY CERTIFY THAT THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING DESIGN AND THAT THE PROPOSED GRADING IS COMPATIBLE WITH EXISTING DRAINAGE PATTERNS ON AND ACROSS THESE LANDS AND THE ADJOINING LANDS OR APPLICABLE MUNICIPAL BY-LAWS.

**GRADING NOTES:**

- EXISTING DRAINAGE OF ABUTTING LANDS IS NOT TO BE DISTURBED.

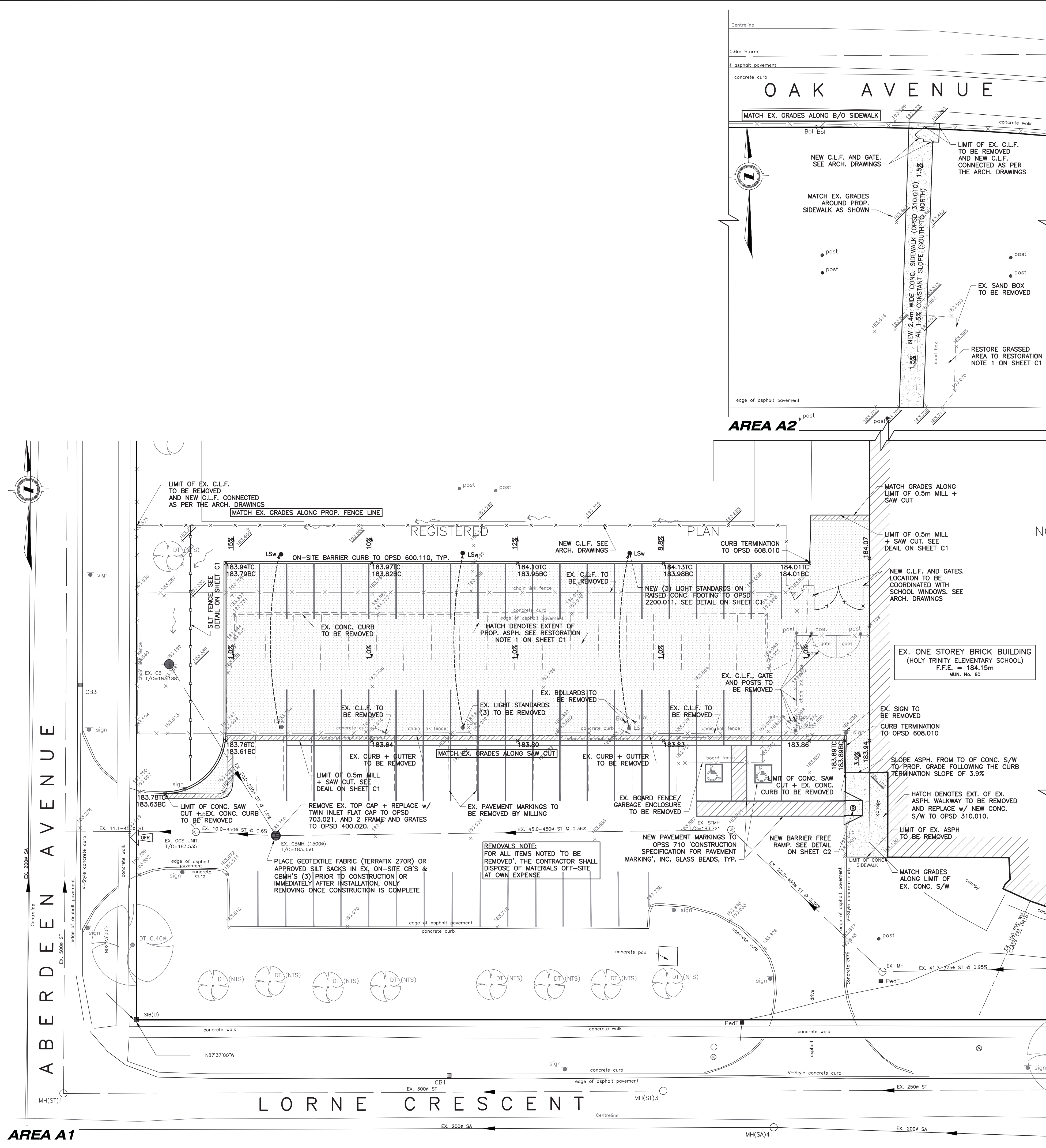
**TEMPORARY SITE BENCHMARK:**

MONUMENT TYPE: FINISHED FLOOR ELEVATION  
 LOCATION: THE FINISHED FLOOR ELEVATION OF THE EXISTING HOLY TRINITY CATHOLIC SCHOOL.  
 \*ELEVATION: 184.150m  
 \*ELEVATIONS SHOWN ARE SITE SPECIFIC AND MAY NOT NECESSARILY BE GEODETIC.



**RESTORATION NOTE:**  
 ALL SURFACES ON-SITE THAT ARE REQUIRED TO BE RESTORED OR DAMAGED DURING CONSTRUCTION, SHALL BE RESTORED AS PER RESTORATION NOTE 1 ON SHEET C1, OR EXISTING CONDITION, WHICHEVER IS GREATER, TYP.

REFER TO NOTES, LEGEND, AND DETAILS ON SHEET C1



**AREA A1**